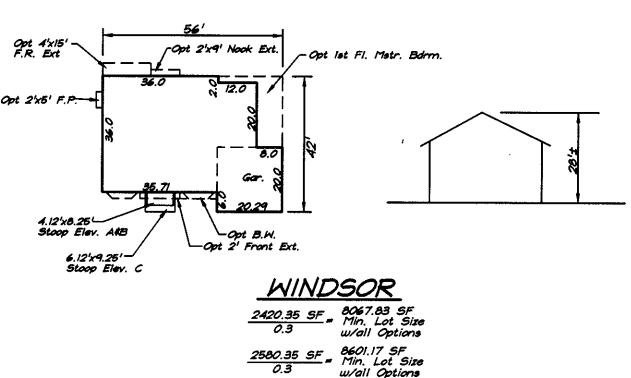
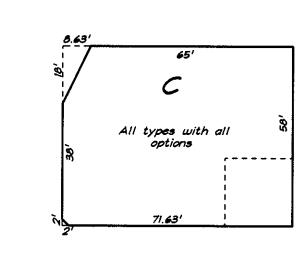


—15'x14.67' S.R. with 4'x14.67' F.R. Ext.





All types with all

options except no 3 car garage option with Southill

62.0'

B

All types with all options except no 3 car garage or wrap porch option with

NOTE: NO AREAWAYS MAY PROJECT INTO ANY SETBACK AREA.

ADDRESS CHART

155

156

172

174

STREET ADDRESS 5705 LITTLE BELLS ROW 5700 LITTLE BELLS ROW

5837 WILD ORANGE GATE

5833 WILD ORANGE GATE

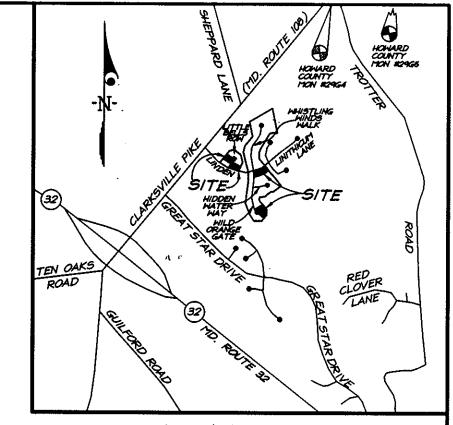
12160 LINDEN LINTHICUM LANE 12164 LINDEN LINTHICUM LANE

12168 LINDEN LINTHICUM LANE

<u>LEGEND</u>	
CONTOUR INTERVAL	2
EXISTING CONTOUR	- — <u>[</u>
PROPOSED CONTOUR	
DIRECTION OF DRAINAGE	
WALK OUT BASEMENT	0
SPOT ELEVATION	
STABILIZED CONSTRUCTION ENTRANCE	
EROSION CONTROL MATTING	
• · · · • • · · · · · · · · · · · · · ·	

SILT FENCE LIMIT OF DISTURBED AREA TREE PROTECTION FENCE EXISTING TREES TO REMAIN

SHEET No.
I AND 2
3
4



VICINITY MAP Scale : |"=2000'

BENCHMARKS:

Howard County Monument 29G4 Intersection of MD, Route 108 and Trotter Road Howard County Monument 29G5 an additional 2,544'± Northeasterly along MD. Route 108 away from Site

GENERAL NOTES:

- 1. Subject property is zoned: NTSFLD per 10-18-93 Comprehensive Zoning Plan.
- 2. The total area included in this submission is : 2.13 Acres.
- 3. The total number of lots included in this submission is : 7
- 4. Improvement to property : Single Family Detached
- 5. The maximum lot coverage permitted is : 30%
- 6. Department of Planning and Zoning reference file numbers :
- S-93-21;P-95-12;F-96-102;F-98-122.
- 7. Utilities shown as existing are taken from approved Water and Sewer plans Contract #34–3586–D, approved Road Construction plans F–96–102, and actual field survey.
- 8. Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- 9. All roadways are public and existing.
- 10. The existing topography was field run by Clark, Finefrock
- and Sackett, inc. 11. The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland
- Numbers : 29G4 \$ 29G5 12. The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 313-1880 at
- least twenty-four (24) hours prior to the start of work. 13. The contractor shall notify "Miss Utility" at 1-800-257-7777

State Plane Coordinate System - Howard County Monuments

- at least 48 hours prior to any excavation work.
- 14. For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 \$ R.6.05.
- 15. In accordance with FDP-Phase 222 -A Part V bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Areaways may not project into any setback areas.
- 16. Stormwater Management is provided per: F-96-102. Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities; the refurbished SWM Pond #1 South of Linden Linthicum Lane (F-96-89), The culvert at Great Star Drive (F-96-110) and SWM Pond #4 in Section 4,
- Area 4 (F-96-130). Quality Management for this section will be provided by three facilities: A Forebay North of SWM Pond #1 (F-96-89), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention Facility within Pond #4 (F-96-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class 1 Watershed.
- 17. SHC Elevations shown are at the property lines.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-102 and/or approved Water and Sewer Plans Contract #34-3586-D.

SUBDIVISION NA	AME COLU		SECTION/AREA 4/5	LOTS/PARCEL 2,8,15	s 5,156,172,173,174
PLAT NO. <i>12855, 13274</i> <i>13275 \$ 13277</i>	BLOCK NO.	ZONE NTSFLD	TAX MAP NO. 35	ELECTION DIST. 5TH	CENSUS TRACT 6055
WATER CODE			SEWER CODE		
1-12		<i>6652500</i>			

CLARK • FINEFROCK & SACKETT, INC. **ENGINEERS • PLANNERS • SURVEYORS**

7135 MINSTREL WAY . COLUMBIA, MD 21045 . (410) 381-7500 BALT. . (301) 621-8100 WASH.

DM	SITE DEVELOPMENT PLAN LOTS 2,8,155,156,172,173 AND 174	SCALE /" = 30'
DRAWN BLP/ZH CHECKED DM	COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 5 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 1 of 4 JOB NO. 99-009
DATE 3-1-99	FOR; RYLAND GROUP, INC. 7250 Parkway Drive Hanover, Maryland 21076	FILE NO. 99-009-x

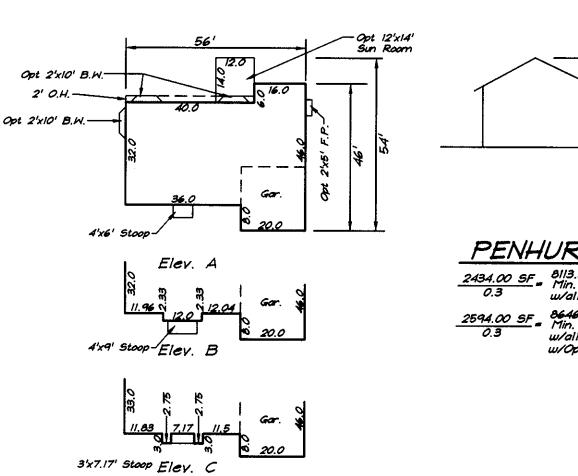
67.63' 56' -2'x6' F.POpt. 4.0' F.R. Ext. 16.0 0 Morn. Rom. 2'x6' F.P. 0 11.63 4'x6' Stoop Elev. A 13.17 0 22.54 11.63 11.63 11.63	78,7
9.67'x6' 3.0 8'9.67 8' 3.04 6 20.29 Flev. B&C	SOUTHILL 2881.32 SF = 9604.40 SF Min. Lot Size w/all Options 3041.32 SF = 10137.74 SF Min. Lot Size w/all Options w/Opt. 10'x16' Deck
Opt. Wrap Porch Elev. D 62' 73.63	

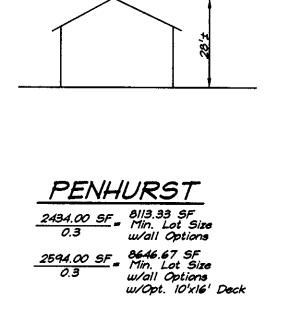
ASHLEY

2307.48 SF 7691.60 SF Min. Lot Size w/all Options

w/Opt. 10'x16' Deck

Opt. 12.48'x22.63' Sun Room—



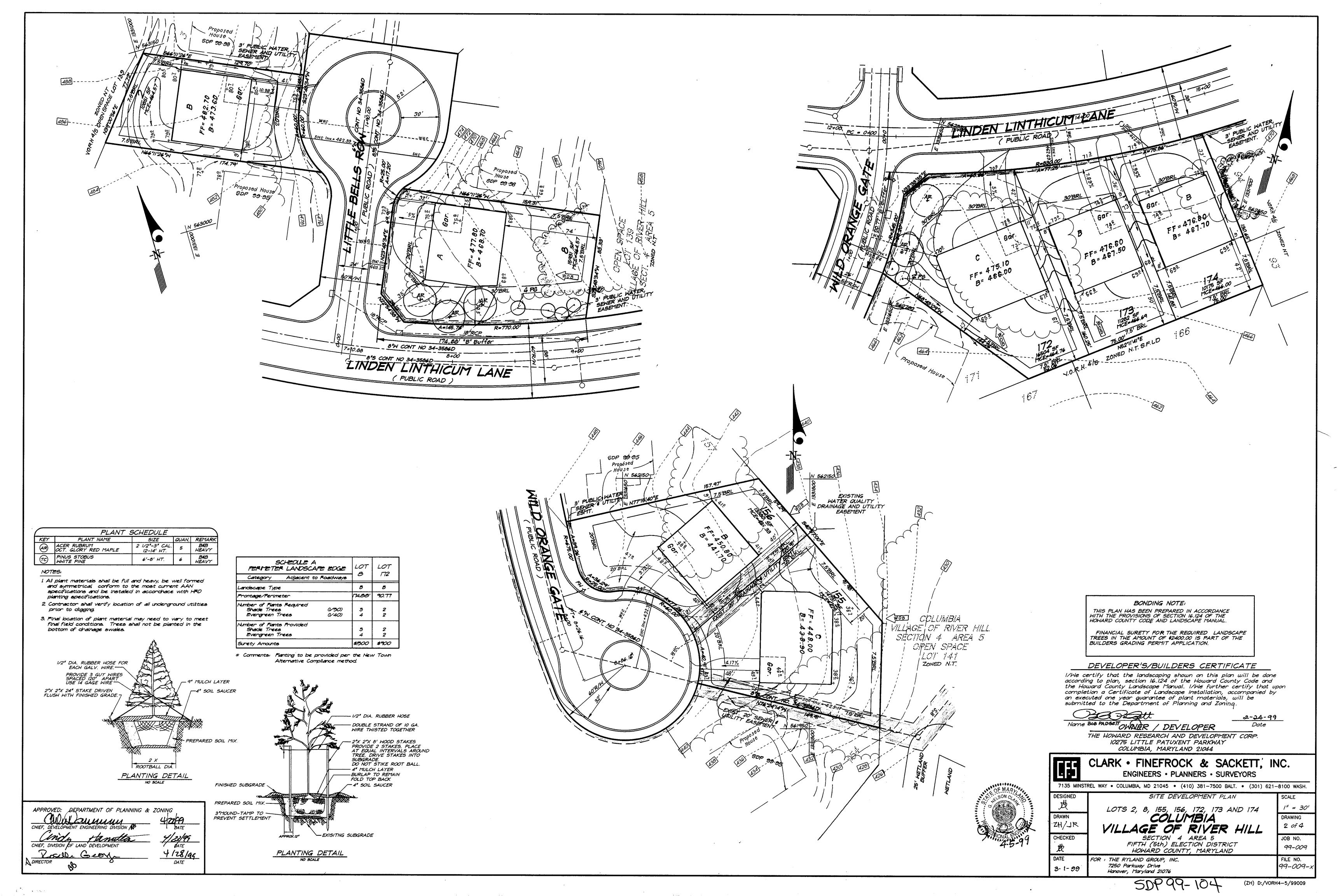


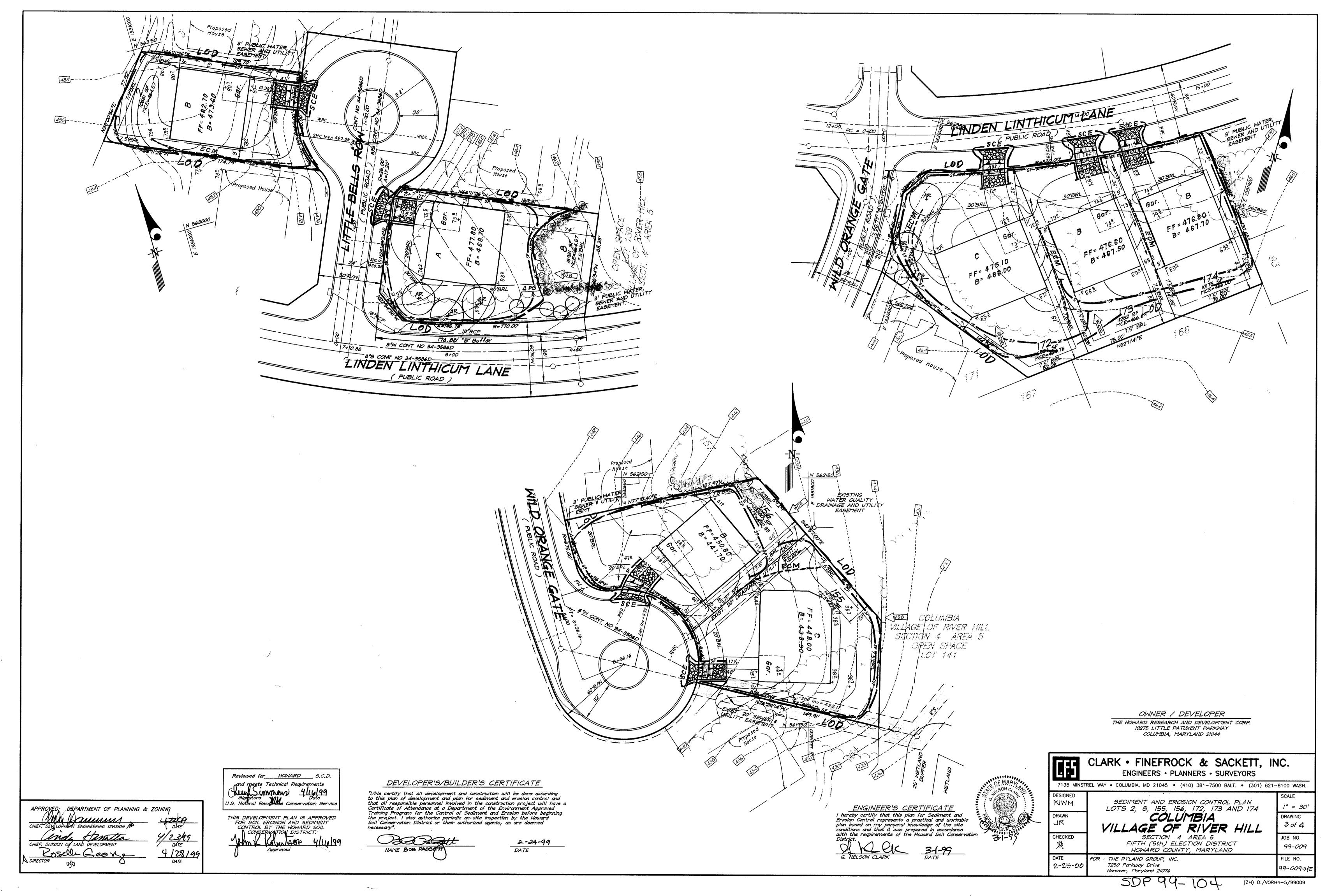
w/Opt. IO'xI6' Deck

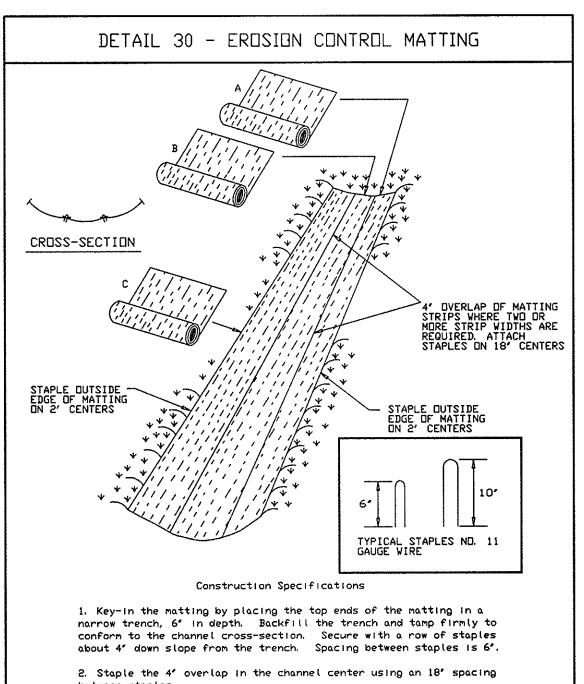
OWNER / DEVELOPER THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING

Opt 2'x5' F.P.







3. Before stapling the outer edges of the matting, make sure the

4. Staples shall be placed 2' apart with 4 rows for each strip, 2

5. Where one roll of matting ends and another begins, the end of

the top strip shall overlap the upper end of the lower strip by 4°,

shiplap fashion. Reinforce the overlap with a double row of staples

Note: If flow will enter from the edge of the matting then the area

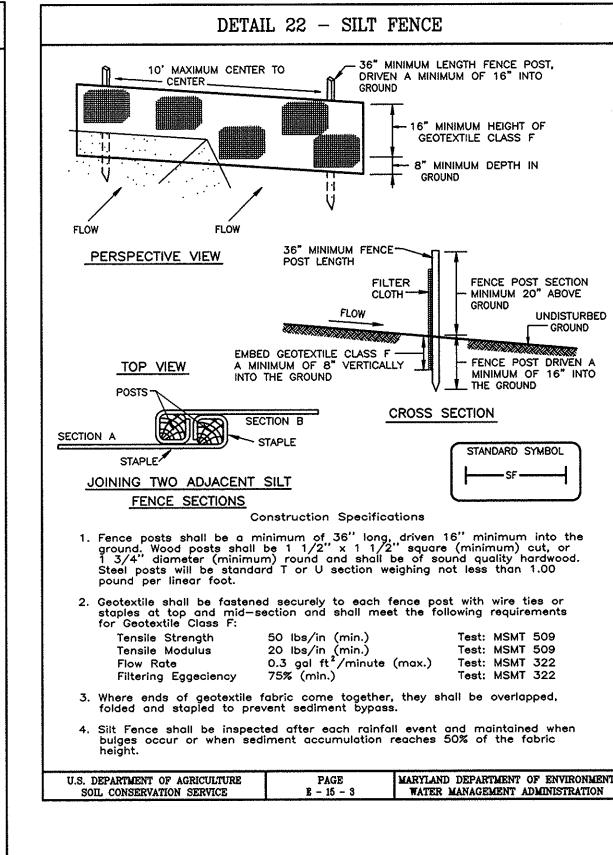
matting is smooth and in firm contact with the soil.

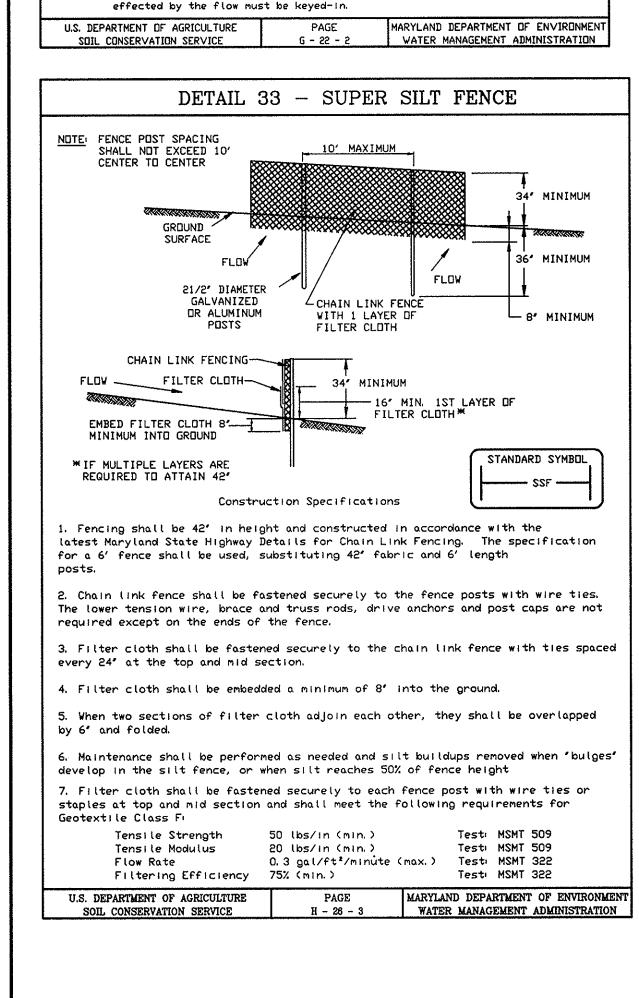
outer rows, and 2 alternating rows down the center.

spaced 6' apart in a staggered pattern on either side.

secured with 2 double rows of staples.

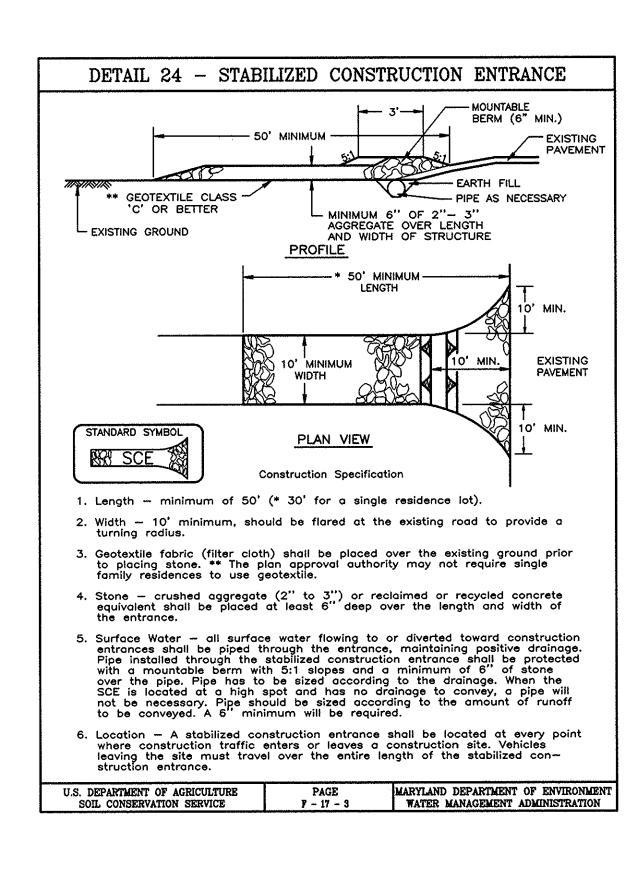
6. The discharge end of the matting liner should be similarly





DEPARTMENT OF PLANNING & ZONING

Kumm



21.0 STANDARDS AND SPECIFICATIONS

Definition

FOR TOPSOIL

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

<u>Purpose</u>

To provide a suitable soil medium for vegetable arouth, Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil aradation.

is not adequate to produce vegetative growth

Conditions Where Practice Applies

This practice is limited to areas having 2:1 or flatter The texture of the exposed subsoil/parent material

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with

limestone is not feasible. II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agranomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger that I and 1/2"

ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoll. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described

HIGHLY VISABLE FLAGGING

NAXINUN 8 FEET

II. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in <u>20,0 Vegetative Stabilization</u> -Section I - Vegetative Stabilization Methods and Materials

- iii. For sites having disturbed areas over 5 acres: i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. If
- the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher. b. Organic content of topsoil shall be not less than 1.5 percent by weight. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- d. No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of

phyto-toxic materials. NOTE: Topsoll substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil. ii. Place topsoil (if required) and apply soil ammendments specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.

V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

ili. Topsoil shall be uniformly distributed in a 4" -8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions

Topsoil shall not be place while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of

1) Preferred-Apply 2 tons per ocre dolomitic limestone (92 lbs/ 100 sq,ft.) and 600 lbs per ocre 10-10-10 fertilizer (14 lbs./ 1000 sq,ft.) before seeding. Harrow or disc into upper three

inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 vreaform fertilizer (9 lbs/1000 sq.ft.)

2) Acceptable-Apply 2 tons per acre dolomatic limestone (92 lbs/

1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10- fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper

SEEDING: For the periods March I thru April 30, and August I thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May I thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tans

in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tail Fescue and mulch with 2 tans/acre well anchored

per acre well anchored straw mulch and seed as soon as possible

MULCHING: Apply I I/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs,

TEMPORARY SEEDING NOTES

discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer

SEEDING: For periods March I thru April 30 and from August 15 thru

SEEDING: For periods March I thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May I thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November I thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply I 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR

SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

SEEDBED PREPARATION: Loosen upper three inches of soil by raking,

replacements and reseedings.

(14 1bs./1000 sq.ft).

2. All vegetative and structural practices are to be installed SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS.

FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto. 3. Following initial soil disturbance or redisturbance, permanent or

SEDIMENT AND EROSION CONTROL NOTES

Sediment Control Division prior to the start of any construction (313–1855). County Department of Inspections, Licenses and Permits,

I. A minimum of 48 hours notice must be given to the Howard

temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control stuctures, dikes, perimeter slopes and all slopes greater than 3:1 b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol.I, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STAND-ARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec G). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination

and establishment of grasses. 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. SITE ANALYSIS: Total Area of Site: ____ Area Disturbed: Area to be roofed or paved Area to be vegetatively stabilized: Total Cut:____ Offsite Waste/Borrow Area Location:

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is

II. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

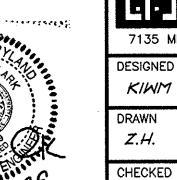
12. The total amount of silt fence = 1813 LF The total amount of super silt fence = 242 14. The total amount of earth dike =

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE: NO. OF DAYS I. Obtain grading permit. 2. Install tree protection fence. 3. Install sediment and erosion control devices and stabilize. 4. Excavate for foundations, rough grade and temporarily stabilize._ 5. Construct structures, sidewalks and driveways. 6. Final grade, install Erosion Control Matting and stabilize in accordance with standards and specifications. 7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize. * Delay construction of houses on lots:

 Forest protection device only.
 Retention area will be set as part of the review process.
 Boundaries of retention area should be staked and flogged prior to installing device.
 Roof damage should be avoided.
 Protection signage should be used.
 Device should be maintained throughout construction. BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL

> OWNER / DEVELOPER THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044



D.M.

2-25-99

CLARK • FINEFROCK & SACKETT, INC. **ENGINEERS • PLANNERS • SURVEYORS**

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH. SEDIMENT AND EROSION CONTROL DETAILS

LOTS 2,8,155,156,172,173 AND 174 KIWM COLUMBIA

FIFTH (5th) ELECTION DISTRICT

HOWARD COUNTY, MARYLAND FOR; RYLAND GROUP, INC. 7250 Parkway Drive Hanover, Maryland 21076

AS SHOWN

DRAWING

JOB NO.

FILE NO.

99-009-5.

4 of 4

99-009

SIMMIN

Reviewed for HOWARD S.C.D. meets Technical Requirements Natural Resides Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL ONGERICATION DISTRICT.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed



2-24-99

ENGINEER'S CERTIFICATE hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance uith the requirements of the Howard Soil Conservation

